

EXHIBIT A
FORM OF SPECIAL WARRANTY DEED

WHEN RECORDED, MAIL TO:

THE SKY LODGE
SPECIAL WARRANTY DEED
(Shared Interest)

Easy Street Partners, LLC, a Utah limited liability company ("Grantor"), does hereby convey against all claiming by, through or under it to _____ as _____ whose address is _____ ("Grantee"), for the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the following described property and interests in Summit County, State of Utah:

Shared Interest _____ consisting of an undivided 1/8 interest in Shared Interest Unit _____, according to the Declaration of Condominium for Union Square, recorded in Book _____ at Page _____, on _____, 2005 in the official records of the Recorder of the County of Summit, State of Utah ("Declaration").

TOGETHER WITH: The exclusive right to possession and occupancy of the aforementioned Shared Interest Unit in The Sky Lodge during certain Vacation Times in accordance with the Shared Ownership Regime and the Reservation Policies and Procedures.

TOGETHER WITH: The appurtenant undivided ownership interest in and to the Common Areas and Facilities as more particularly described in the Declaration.

THIS CONVEYANCE IS MADE SUBJECT TO THE FOLLOWING:

ALL OF THE TERMS, PROVISIONS, CONDITIONS, RIGHTS, PRIVILEGES, OBLIGATIONS, EASEMENTS, LIENS AND LIMITATIONS ON TITLE SET FORTH IN THE DECLARATION; AND

SUCH OTHER COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, RIGHTS OF WAY AND OTHER MATTERS OF RECORD, IF ANY, WHICH MAY NOW AFFECT THE ABOVE-DESCRIBED PROPERTY.

The terms of this Special Warranty Deed, which the Grantee, by acceptance thereof, acknowledges to be binding on it, shall inure to the benefit of Grantor and the Owners of all Shared Interests and Units in The Sky Lodge heretofore or hereafter conveyed by Grantor.

Grantee, by acceptance hereof and by agreement with Grantor, hereby expressly assumes and agrees to be bound by and comply with all of the covenants, terms, and provisions set forth in the aforesaid Declaration and the rules and regulations made thereunder, including, but not limited to, the obligation to make payment of all Common Assessments as provided for therein. Grantee acknowledges that ownership of the Shared Interest hereby conveyed authorizes and entitles Grantee to occupy a Shared Interest Unit only in accordance with the Declaration, the exhibits to the Declaration, the Reservation Policies and Procedures, and any other rules and regulations promulgated under the Declaration. Grantee acknowledges that Grantee may not subdivide the Shared Interest or the Shared Interest Unit.

Grantee, by accepting this Deed, acknowledges that Grantee is a member of the Association. Each membership therein shall be appurtenant to Grantee's Shared Interest and shall be transferred automatically by conveyance of that Shared Interest. Ownership of a Shared Interest within The Sky Lodge cannot be separated from the membership in the Association.

appurtenant thereto, except as otherwise provided by the Declaration, and any devise, encumbrance, conveyance or other disposition, respectively, of a Shared Interest shall include the Grantee's membership in the Association and rights appurtenant thereto, whether or not specifically named in the instrument of transfer.

Grantee and their heirs, devisees, successors and assigns covenant with Grantor and with each other that no Owner has the power to execute any instrument, or take any action which will encumber the Shared Interest or Unit of any other Owner, and that this covenant is hereby incorporated by reference in all future conveyances of the subject property and runs with the land.

The plural number as used herein shall equally include the singular. The masculine or feminine gender as used herein shall equally include the neuter. Unless otherwise provided herein, all capitalized terms used in this Special Warranty Deed shall have the meanings set forth in the Declaration.

The person who signs this deed hereby certifies that this deed and the transfer represented thereby was duly authorized by the Grantor.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be executed by its duly authorized representative this _____ day of _____ 200____.

EASY STREET PARTNERS, LLC,
a Utah Limited Liability company

By: AVG-SL, LLC
Its: Manager

By: _____
Name: _____
Its: Manager

MAIL TAX STATEMENTS TO:

Management Committee
Union Square Owners Association, Inc.

Park City, Utah _____

STATE OF UTAH
COUNTY OF SUMMIT

The foregoing Special Warranty Deed was acknowledged before me on this _____ day of _____, 200____, by

of EASY STREET PARTNERS, LLC, a Utah Limited liability company.

NOTARY PUBLIC
Residing at: _____

My Commission Expires:

EXHIBIT B
LIST OF FURNITURE, FIXTURES AND EQUIPMENT

The Sky Lodge - Interior Design Features

The Lodge will have 22 residences in total:

- Five two bedroom units
- Seventeen three bedroom units comprised of:
 - Two one story flats
 - Ten two story town homes.
 - Four two story Sky Homes
 - One single top floor, three bedroom Penthouse.

Typical Two Bedroom Residence Features

Entry

- Single door entry with wood foyer.
- Electronic Lockset
- Door bell with privacy peep hole

The Great Room

Open gathering area comprised of a living room area, kitchen area, and dining area.

Kitchen

- Island with counter seating, work area, and U-line wine cooler .
- Slab granite countertops.
- Stone or granite back splash.
- Pro Series Appliances- Stainless Steel Finish .
- Ceramic electric cook top with pop up down draft venting
- 30" Double Oven / Microwave
- 36" Single Door Refrigerator
- 30" Dishwasher
- Double basin stainless steel sink with precision designer faucets & garbage disposal.
- Wood cabinetry.
- Wood floors.
- Painted walls

Dining Area

- Wood floor
- Painted Walls
- Dining table for four

Living Area

- Gas fireplace
- Seating area with couch, side tables, lamps and side chair.
- Art & Accessories
- Carpeted area
- Painted walls with duplex surfaces.
- HDTV - 32" wide screen flat panel
- Surround sound system
- Integrated docking station for iPod.

Deck/ Patio

- Hot Tub
- Patio chairs with table

The Master Bedroom Suite

Bedroom

- King size bed - Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.

- Bench at foot of bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Gas fireplace.
- Art & Accessories.
- Chair with small side table and floor lamp.
- Dresser with four drawers.
- Hanging Closet with electronic safe.
- Window covering.
- HDTV - 27" widescreen flat panel.
- Carpeted area.
- Painted walls.

Bath:

- Dramatic double sink vanity with slab granite or stone surface and designer faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass shower areas with dual heads.
- Soaking Tub.
- Enclosed toilet area.
- Ceramic Tile Flooring.
- Painted walls with duplex surfaces.

The Guest Bedroom:

Bedroom:

- King size bed with Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Gas fireplace.
- Art & Accessories.
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV - 27" widescreen flat panel.
- Carpeted area.
- Painted walls.

Bath:

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area.
- Ceramic Tile Flooring.
- Painted walls.
- Other items.
- Washer / dryer combo unit.

Typical Three Bedroom Residence Features

Entry:

- Single door entry with wood foyer.
- Electronic Lockset.
- Door bell with privacy peep hole.

The Great Room:

Open gathering area comprised of a living room area, kitchen area, and dining area.

Kitchen:

- Island with counter seating, work area, and U-line wine cooler.
- Slab granite countertops.

- Stone or granite back splash.
- Pro Series Appliances- Stainless Steel Finish.
- Ceramic electric cook top with pop up down draft venting
- 30" Double Oven / Microwave
- 36" Single Door Refrigerator
- 30" Dishwasher
- Double basin stainless steel sink with premium designer fixtures & garbage disposal.
- Wood cabinetry.
- Wood floors.
- Painted walls.

Dining Area

- Dining Table for six
- Wood floor
- Painted Walls

Living Area

- Gas fireplace
- Seating area with couch, side tables, lamps and side chair.
- Art & Accessories
- Carpeted area
- Painted walls with damplex surfaces.
- HDTV – 32" widescreen flat panel
- Surround sound system
- Integrated docking station for iPod.

Deck / Patio

- Hot Tub

The Master Bedroom Suite

Bedroom

- King size bed – Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Bench at foot of bed
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Art & Accessories
- Gas fireplace
- Chair with small side table and floor lamp.
- Dresser with four drawers.
- Hanging Closet with electronic safe.
- Window covering
- HDTV – 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Dramatic double sink vanity with slab granite or stone surface and designer fixtures and fixtures.
- Lighted, well mounted make up mirror.
- Glass shower areas with dual heads
- Soaking Tub
- Enclosed toilet area.
- Ceramic Tile Flooring.
- Painted walls.

The Second Master Bedroom

Bedroom

- King size bed with Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.

- Gas fireplace - signature art piece over fireplace
- Art & Accessories
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV - 27" widescreen flat panel.
- Carpeted area
- Painted walls.

Bath

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Full width mirror in front of sink vanity
- Soaking Tub.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area
- Ceramic tile flooring
- Painted walls.

The Guest Bedroom

Bedroom

- King size bed with Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Art & Accessories
- Gas fireplace
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV - 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area
- Ceramic Tile flooring
- Painted walls

Theater Den Area

Within certain three bedroom units there is an area that will serve as a Den for the residence.

Wet Bar

- Slab granite counter top
- Small bar sink
- Under counter refrigerator
- Microwave.
- HDTV - 32" widescreen flat panel

Seating Area

- Corner sectional with coffee table.
- Art & Accessories

Other Items

- Washer / dryer combo in closet.

**EXHIBIT C-1
BUYER'S UNIT FLOOR PLAN**

Schedule 2.26C
Minimum Unit Prices

[As of 3.29.06]

Schedule 2.27
Existing Insurance

1. There must be evidence of Builders Risk Insurance written on an All Risks/Special Form/or equivalent, Replacement Cost, no Co-insurance basis.
2. The limit under the Builders Risk Insurance to cover physical loss or damage must represent 100% of the hard construction costs and include not less than 25% of the total soft costs.
3. The Builders Risk policy must include a Permission to Occupy clause.
4. The Builders Risk policy must include Delayed Income insurance to cover the anticipated loss of revenue for one year, which may possibly be incurred in the event of an insured loss during construction.
5. If the Builders Risk Insurance is subject to any Warranties, the applicable Warranty wordings must be provided.
6. The Builders Risk Insurance must include full Law & Ordinance extensions to cover increased cost of construction to meet minimum bylaws that may be in force at the time of a loss; the cost of demolition of the undamaged portion of the property; and resultant loss of income.
7. There needs to be evidence of Flood Insurance, if the property is located in a flood prone, flood risk, or flood hazard area as designated pursuant to the Federal Flood Disaster Protection Act of 1973, as amended, and the regulations there under, or as otherwise required by BayNorth.
8. There must be evidence of Sewer Back-Up coverage.
9. The Builders Risk Insurance must include coverage for testing and commissioning of equipment.
10. If the subject location is insured under a "blanket" insurance policy, along with the "blanket" policy limit, we need to know what amounts have been specifically declared for physical loss or damage and resultant business interruption for the subject property under the statement of values filed with the insurers.
11. There must be a standard mortgage clause / lender's loss payable endorsement included in the Builders Risk Insurance and Boiler and Machinery Insurance.
12. Confirmation is required that terrorism is not excluded under the Builders Risk and Boiler and Machinery Insurance.
13. The Borrower must be a Named Insured under the Builders Risk and if applicable, Boiler and Machinery Insurance.
14. There must be evidence of the General Contractor's Liability Insurance covering their construction operations at this location, with a minimum limit of \$5,000,000 per occurrence.
15. The Borrower and BayNorth must both be Additional Insured under the General Contractor's Liability Insurance with respect to claims arising out of the operations of the Insured.
16. There must be evidence of the General Contractor's Workers Compensation Insurance, with the "all states" endorsement, covering all employees working on the site.
17. BayNorth must be shown as a secured party and Loss Payee under the Builders Risk and, if applicable, Boiler & Machinery Insurance.
18. All policies of insurance must provide BayNorth with at least 30 days prior written notice of cancellation, except for the non-payment of premium, in which case the Statutory Conditions may apply.
19. The location of the security property must be shown as an insured location on the insurance documentation.
20. The full legal description of the property insured needs to be shown on all insurance policies, as noted above.
21. The insurers, policy (or binder) numbers, policy limits, policy terms, and all applicable deductibles must be shown on the evidence of insurance. (The applicable deductibles can be advised separately in writing.)

22. The insurer must be minimum rated A-VIII by A.M. Best or A-Standard & Poor's.
23. There must be evidence of the Professional Liability Insurance maintained by the architect(s), as well as that maintained by the engineer(s), engaged in the Project.
24. There must be evidence of Borrower's Workers Compensation Insurance, with the "all states" endorsement.
25. There must be complete (including policy wordings), original, certified, endorsed copies of the Builders Risk, the Boiler and Machinery (if applicable) and the Borrower's Liability Insurance policies provided direct to BayNorth once they are available from the insurers.
26. Signed Certificates or Binders of Insurance addressing the above and copies of the Bonds will suffice as insurance evidence for closing purposes; with the certified policy copies to be provided direct to BayNorth once they are available from the insurers.

Schedule 2.30
Transactions With Related Parties

1. Carrie Shoaf, the spouse of William Shoaf, a Principal, is a real estate agent for Prudential Utah Real Estate. Carrie Shoaf is entitled to receive real estate sales commissions to be paid to all real estate agents selling Units, subject to the limitations set forth in this Agreement and otherwise consistent with the Construction Budget.
2. Development Agreement dated as of March 30, 2006 by and between Easy Street Partners LLC and Cloudnine Resorts/Sky Lodge Development Company L.L.C.
3. Sky Lodge Management Agreement dated as of March 30, 2006 by and between Easy Street Partners LLC and Cloudnine Resorts/Sky Lodge Management Company L.L.C.
4. Net Lease dated October 1, 2002 by and between Utah Coal and Lumber Restaurant, Inc. and Easy Street Brasserie, Inc. (Lease for Easy Street Brasserie Restaurant). Acknowledgement dated as of March 30, 2006 by and between Easy Street Brasserie, Inc. and Easy Street Partners, LLC.

**Schedule 2.31
Bank Accounts**

Easy Street Partners, LLC
Zions Bank
Park City Office
1100 Snow Creek Dr
Park City, UT 84060

Account number: 098014137

Borrower to establish separate bank account in the name of Easy Street Mezzanine LLC within 10 days of closing.

Schedule 2.32
Dates of Financial Statements

Please refer to Schedule 2.9B above.

Schedule 2.33
Bankruptcies and Foreclosures

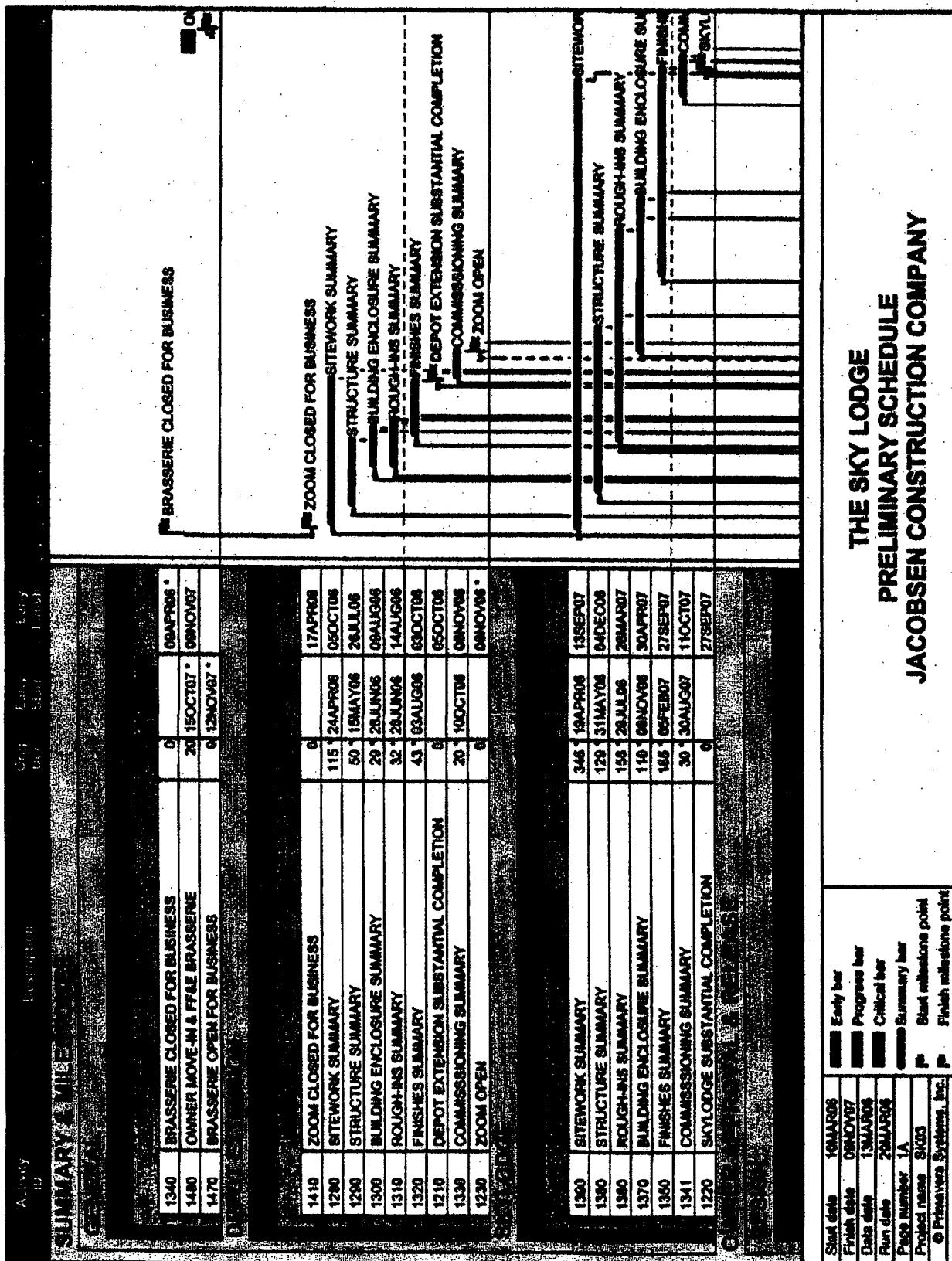
None

Schedule 3.1
Construction Schedule

Design & Construction Drawings / GMP Estimations
Final Drawings – GMP Bid Process
Building Permit
Final GMP
Site Work & Utilities
Footing & Foundations
Structural
Exterior Shell / Mechanical / Electrical
Interiors
FFE Install
CO

July – December 2005
January / February 2006
No later than April 13, 2006
No later than April 15, 2006
April – May 2006
May – July 2006
June – December 2006
November 2006 – April 2007
January – September 2007
July - September 2007
September 2007

Please also see attached.



Activity	Description	Start Date	End Date	Early Finish
1015	Release Structural Steel Exhibit Shop Drawing	0	10MARCH06	
1046	Release Electrical Design Ass't	0	10MARCH06	
1045	Release Utility Relocation	0	10MARCH06	
1105	Release DEQ Demolition Plan	0	10MARCH06	
1115	Release Residential Land Survey/Sols Mgt. Plan	0	13MARCH06	
1126	Release Mechanical Design Ass't	0	13MARCH06	
1135	Release Disposal Acceptance Letter	0	13MARCH06	
1145	Release Shoring Shop Drawings	0	15MARCH06	
1155	Release Wood Flooring Removal	0	15MARCH06	
1165	Release Steel Reinforcement Shop Drawings	0	15MARCH06	
1175	Release Tack Shed Relocation	0	31MARCH06	
1185	Release Demolition	0	03APRIL06	
1195	GMP set and Master Contract Cont'd	0	17APRIL06	
1915	City Structural & Architectural Review	0	16MARCH06	
1925	Produce De-watering System Design	0	13MARCH06	
1935	Produce Storm Runoff System Design	0	13MARCH06	
1945	Produce Soils Management Plan	0	14MARCH06	
1045	Produce Shoring Shop Drawings	0	15MARCH06	
1055	Produce Disposal Acceptance Letter	0	21MARCH06	
1030	Submit & Review DEQ De-watering Permit to State	0	20MARCH06	
1040	Submit & Review DEQ Storm Runoff Permit to State	0	20MARCH06	
1050	State Issue DEQ De-watering Permit	0	20MARCH06	
1060	State Issue DEQ Storm Runoff Permit	0	20MARCH06	
1070	Submit & Review Park City Demo Permit	0	20MARCH06	
1080	Submit & Review City Shoring & Execution Permit	0	20MARCH06	
1090	Issue Park City Demo Permit	0	18APRIL06	
1010	Submit & Review DEQ De-watering Permit to State	0	23MARCH06	
1020	Submit & Review DEQ Storm Runoff Permit to State	0	23MARCH06	
1030	State Issue DEQ De-watering Permit	0	23MARCH06	
1040	State Issue DEQ Storm Runoff Permit	0	23MARCH06	
1050	Submit & Review Park City Demo Permit	0	23MARCH06	
1060	Submit & Review City Shoring & Execution Permit	0	23MARCH06	
1070	Issue Park City Demo Permit	0	18APRIL06	

**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Start date 10MARCH06
Finish date 04NOV07
Date due 15MARCH06
Run date 29MARCH06
Page number 2A
Project name Sky03
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■ Early bar
■ Progress bar
■ Critical bar
■ Summary bar
P Start milestones point
F Finish milestones point

Activity	Description	Obj Date	Early Start	Early Finish	Issue Park City Shoring & Excavation Permit	Issue Park City Shoring & Excavation Permit Submit and Review City Building Permit	Issue Park City Building Permit
1169	Issue Park City Shoring & Excavation Permit	6			02MAY06	12MAY06	
1170	Submit and Review City Building Permit	15	03MAY06	23MAY06			
1175	Issue Park City Building Permit	6			23MAY06		
1411	Structural Steel Embeds	1	13MAY06	13MAY06			
1400	Shoring & Excavation	1	18MAY06	18MAY06			
1608	Methanol, grease trap, pipe, valves	19	17MAY06	20MAY06			
1610	Site dewatering system	19	17MAY06	20MAY06			
3150	Precast Floor System	1	17APR06	18APR06			
1429	Structural Steel Columns, Beams, and Deck Deck A	5	17APR06	24APR06			
1439	Structural Steel Columns, Beams, & Deck Mech Lvl	5	17APR06	24APR06			
1441	Structural Steel Columns, Beams, and Deck Piping	5	17APR06	24APR06			
1450	Structural Steel Columns, Beams, and Deck Levels	5	17APR06	24APR06			
1471	Concrete	5	17APR06	24APR06			
1520	Mechanical	5	17APR06	24APR06			
1530	Electrical	5	17APR06	24APR06			
1550	Timbers	5	17APR06	24APR06			
1560	Mec. Steel	10	17APR06	09MAY06			
1481	Roofing	15	17APR06	09MAY06			
1500	Fire Protection	15	17APR06	09MAY06			
1490	Thermal & Moisture Protection	20	17APR06	15MAY06			
1549	Doors & Windows	20	17APR06	15MAY06			
1559	Fixtures	20	17APR06	15MAY06			
1569	Cold Formed Metal Framing	25	17APR06	15MAY06			
1670	Elevators	25	17APR06	15MAY06			
1630	Structural Steel Embeds	32	14MAY06	21APR06			
1620	Shoring Simultaneous Review W/ City	30	17MAY06	26APR06			
1620	Methanol, grease trap, pipe, valves	15	31MAY06	19APR06			
1460	Mechanical & Structural Construction Drawings	20	18APR06	16MAY06			
1936	Precast Floor Systems	40	18APR06	14UN06			
1600	Concrete	15	24APR06	16MAY06			

Start date: 10MAY06
 Early start: 06MAY07
 Early finish: 16MAY06
 Date start: 15MAY06
 Run date: 26MAY06
 Page number: 3A
 Project Name: SK03
 Project Name: SK03
 Previews Systems, Inc.
 Start milestones point:
 Field milestone point:

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start Date	End Date	Task Description	Start Date	End Date	Task Description
17/06	Electrical	Structural Steel Columns, Beams, and Deck Deck A	26/04/08	20/05/08	Electrical
18/06	Mechanical	Structural Steel Columns, Beams, and Deck Deck A	30/04/08	05/05/08	Structural Steel Columns, Beams, and Deck Deck A
17/06	Timber	Mechanical	30/04/08	05/05/08	Mechanical
18/06	Mac. Steel	Timber	30/04/08	05/05/08	Timber
17/06	Roofing	Mac. Steel	30/04/08	05/05/08	Mac. Steel
18/06	Plaster	Cooling	30/04/08	05/05/08	Cooling
17/06	Fire Protection	Structural Steel Columns, Beams & Deck Hatch LM	30/04/08	05/05/08	Structural Steel Columns, Beams & Deck Hatch LM
17/06	Thermal & Moisture Protection	Fire Protection	30/04/08	05/05/08	Thermal & Moisture Protection
17/06	Decks & Walkways	Thermal & Moisture Protection	30/04/08	05/05/08	Doors & Windows
17/06	Plaster	Doors & Windows	30/04/08	05/05/08	Doors & Windows
17/06	Cold Formed Metal Framing	Fire Protection	30/04/08	05/05/08	Fire Protection
17/06	Elevators	Cold Formed Metal Framing	30/04/08	05/05/08	Cold Formed Metal Framing
18/06	Structural Steel Columns, Beams, and Deck Purlins	Elevators	30/04/08	05/05/08	Elevators
18/06	Structural Steel Columns, Beams, and Deck Upper	Structural Steel Columns, Beams, and Deck Purlins	30/04/08	05/05/08	Structural Steel Columns, Beams, and Deck Purlins
20/06	Mechanical, greases tank, Jabs, valves	Structural Steel Columns, Beams, and Deck Deck A	16/05/08	03/06/08	Structural Steel Columns, Beams, and Deck Deck A
18/06	Structural Steel Embeds	Mechanical, greases tank, Jabs, valves	20/04/08	18/05/08	Structural Steel Embeds
19/06	Concrete	Structural Steel Embeds	3/05/08	15/05/08	Concrete
19/06	Mechanical & Structural Coordination	Concrete	8/05/08	23/05/08	Mechanical & Structural Coordination
17/06	Electrical	Mechanical & Structural Coordination	20/04/08	27/04/08	Electrical
18/06	Structural Steel Columns, Beams, and Deck Deck A	Structural Steel Columns, Beams, and Deck Deck A	20/04/08	05/05/08	Structural Steel Columns, Beams, and Deck Deck A
18/06	Mechanical	Structural Steel Columns, Beams, and Deck Deck A	20/04/08	05/05/08	Mechanical
19/06	Roofing	Mechanical	20/04/08	05/05/08	Roofing
19/06	Timber	Roofing	20/04/08	05/05/08	Timber
19/06	Thermal & Moisture Protection	Timber	20/04/08	05/05/08	Thermal & Moisture Protection
19/06	Decks & Walkways	Thermal & Moisture Protection	20/04/08	05/05/08	Decks & Walkways
19/06	Plaster	Decks & Walkways	20/04/08	05/05/08	Plaster
20/06	Electrical	Decks & Walkways	20/04/08	05/05/08	Electrical
20/06	Mac. Steel	Electrical	20/04/08	05/05/08	Mac. Steel
20/06	Cold Formed Metal Framing	Mac. Steel	20/04/08	05/05/08	Cold Formed Metal Framing
19/06	Precast Pier Systems	Cold Formed Metal Framing	20/04/08	05/05/08	Precast Pier Systems
19/06	Structural Steel Columns, Beams & Deck	Precast Pier Systems	20/04/08	05/05/08	Structural Steel Columns, Beams & Deck
19/06	Fire Protection	Structural Steel Columns, Beams & Deck	20/04/08	05/05/08	Fire Protection
18/06	Structural Steel Columns, Beams, and Deck Purlins	Fire Protection	20/04/08	05/05/08	Structural Steel Columns, Beams, and Deck Purlins
			Start date	10/04/08	Early bar
			Finish date	09/05/08	Proprietary bar
			Date due	10/04/08	Critical bar
			Run date	29/04/08	Summary bar
			Page number	44	Solid rectangle point
			Product name	SK99	P
			© Partnership Systems, Inc.		P
					P

**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Activity ID	Description	Start Date	Early Finish	Proposed Bar	Critical Bar	Summary Bar	Steel Rebar Spans, Lengths, and Ratings
1890	Structural Steel Columns, Beams, and Deck Levels	25-27.JUN.06	15JUL06				Structural Steel Columns, Beams, and Deck Levels
2520	Terminate Heber Avenue Questar Gas Service	0	17APR06				
2540	Demo and Relocate Tack Shed	5 18APR06	25APR06				
2550	Demo Zoom Restaurant	10 24APR06	05MAY06				
2630	Relocate Site Utilities/Connect to N Slope Drain	10 26APR06	09MAY06				
2180	Excavate Shore Depot Area	7 03MAY06	11MAY06				
2230	Excavate Footings Depot Area	1 12MAY06	12MAY06				
2310	Backfill/reinforce drainage/Waterproof Depot area	5 21JUN06	27JUN06				
2340	Form Footings / Depot	3 15MAY06	17MAY06				
2350	Place rebar Depot Footings	2 16MAY06	19MAY06				
2360	Place Concrete Footings / Depot	1 22MAY06	22MAY06				
2380	Place rebar Foundations/Depot	2 23MAY06	24MAY06				
2370	Form Foundations / Depot	5 25MAY06	01JUN06				
2390	Place Concrete Foundations/Depot	1 02JUN06	02JUN06				
2630	Install MEP underground Depot Area	3 08JUN06	07JUN06				
2670	Place Depot Basement SOG	2 09JUN06	09JUN06				
1200	Place SOG and SOG @ Depot 98' level	2 18JUN06	20JUN06				
1190	Install CMU Wall to 144' level	3 21JUN06	27JUN06				
1280	Place SOG @ Depot 108' level		20JUL06	07JUL06			
1180	Set Beams, Joists, and Deck @ Depot 98' level	5 12JUN06	16JUN06				
1240	Set Beams, Joists, and Deck @ 108' level	5 26JUN06	05JUL06				
1245	Installed Metal Stairs, Landings, and Railings	5 24JUL06	14JUL06				
Start date	11MAY06			Early bar			
Finish date	09NOV07			Proposed bar			
Data date	15AUG06			Critical bar			
Run date	29MARS			Summary bar			
Page number	SA			Steel reinforcement point			
Printed name	SOG			Point			
© Printers Systems, Inc.				Printed reinforcement point			

Activity	Description	Start Date	End Date	Duration
1120	Frame & Sheath Wood Walls @ Depot Extension	5/26/09	6/5/09	11 days
1250	Install Depot Extension Lower Wood Beams & Roof	5/26/09	6/24/09	29 days
4800	Install Windows/Doors	5/13/09	19/09	6 days
4970	Set Timbers Levels 1 & 2	19/09	27/09	8 days
2620	Frame & Sheath Wood Knee Walls 114' to 117'	2/10/09	11/09	21 days
2625	Set Chiller on Deck before Roof is Enclosed	1/19/09	19/09	1 day
4820	Install Wood Roof Structure @ 117' Level	4/20/09	26/09	17 days
4830	Install Metal Roofing & Shingles @ all Depot Roof	5/27/09	02/09	5 days
5000	Install Siding & Trim all levels	19/09	08/09	19 days
4940	Scissor Building Extender	5/20/09	05/09	5 days
4950	Install Elevator Equipment	30/09	07/09	8 days
4960	Elevator Operational	15/09	09/09	4 days
5010	Frame Interior Walk/Install Door Frames	5/21/09	27/09	27 days
5600	Wall Rough-In	3/20/09	30/09	11 days
5020	Overhead Rough-In	5/20/09	05/09	5 days
5200	Frame Interior Walk/Install Door Frames	5/10/09	14/09	4 days
5210	Wall Rough-In	5/17/09	27/09	11 days
5210	Overhead Rough-In	12/09	14/09	2 days
5300	Drywall, Taping, and Paint	5/20/09	14/09	4 days
5310	Panel walls, ceilings, and doors	5/15/09	16/09	2 days
5340	Install Suspended Ceilings	2/17/09	18/09	2 days
5350	Install MDF Panels	2/21/09	22/09	2 days
5400	Install Windows, Handrails, Specialties	4/23/09	23/09	1 day
5410	Install Floor Coverings	4/24/09	25/09	1 day
5420	Punchlist	2/28/09	29/09	1 day

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	11MARCH	■ Early bar
Finish date	20NOV09	■ Progress bar
Data date	13APR09	■ Critical bar
Run date	29MARCH	■ Summary bar
Page Number	6A	P Sheet indicates point
Printed name	Sherri	P Field indicates point
©	Primesource Systems, Inc.	P Field indicates point

Activity	Description	Start Date	End Date	Early Finish	Early Start	Finish
5509 Drywall, Tape, and Paint	13 15AUG08 04SEP08					
5519 Paint walls, ceilings, and doors	6 04SEP08 13SEP08					
5520 Install Suspended Ceiling	3 14SEP08 18SEP08					
5530 Install MEP Fresh	5 16SEP08 23SEP08					
5540 Hotel Motors, Hardware, Specialty	2 26SEP08 27SEP08					
5579 Hotel Kitchen Equipment	13 26SEP08 06OCT08					
5580 Hotel Floor Coverings	4 26SEP08 04OCT08					
5590 Purchases	2 04OCT08 05OCT08					
1150 Start Up and Commission Mech Equipment	19 19OCT08 23OCT08					
1170 C of O Inspections for Dead Extensions	19 24OCT08 06NOV08					
2050 Demo Grits Trap	5 19APR08 25APR08					
2138 Install Temp Power	5 19APR08 25APR08					
2149 Install Site Fencing	5 19APR08 25APR08					
2150 Demo Easy Street	16 19APR08 02MAY08					
2078 Demo Easy Street	5 26APR08 02MAY08					
2119 Relocate Cable TV	5 26APR08 02MAY08					
2160 Bore well points	2 03MAY08 08MAY08					
2170 Install Piping and Fitting for well points	3 03MAY08 11MAY08					
2180 Excavate Shore Gold 1-4	12 12MAY08 20MAY08					
2278 Excavate Sodding Gold 1-4	2 20MAY08 30MAY08					
2229 Excavate Shore Crane Feeding	2 31MAY08 07JUN08					
2219 Excavate Shore Mach. Basement	5 31MAY08 07JUN08					
2128 Install new grates trap	5 02JUN08 07JUN08					
2240 Excavate Fording Mach. Area	1 07JUN08 07JUN08					
2228 Excavate Shore Gold 6-17	15 07JUN08 27JUN08					
2280 Excavate Sodding Gold 6-17	3 28JUN08 30JUN08					
2299 Install auto slat drainage system Gold 1-4	5 07JUL08 13JUL08					
2250 Waterproof Mechanical Basement	5 28JUL08 03AUG08					
2260 Backfill mach basement & install drainage syst	5 03AUG08 10AUG08					
Start date	16MAY08					
Finish date	03NOV08					
Date date	13MAY08					
Run date	26AUG08					
Page number	7A					
Project name	SAC03					
© Projectwave Systems, Inc.						
Start date	16MAY08					
Finish date	03NOV08					
Date date	13MAY08					
Run date	26AUG08					
Page number	7A					
Project name	SAC03					
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THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Early bar
 Progress bar
 Critical bar
 Summary bar
 Start indicator point
 Finish indicator point

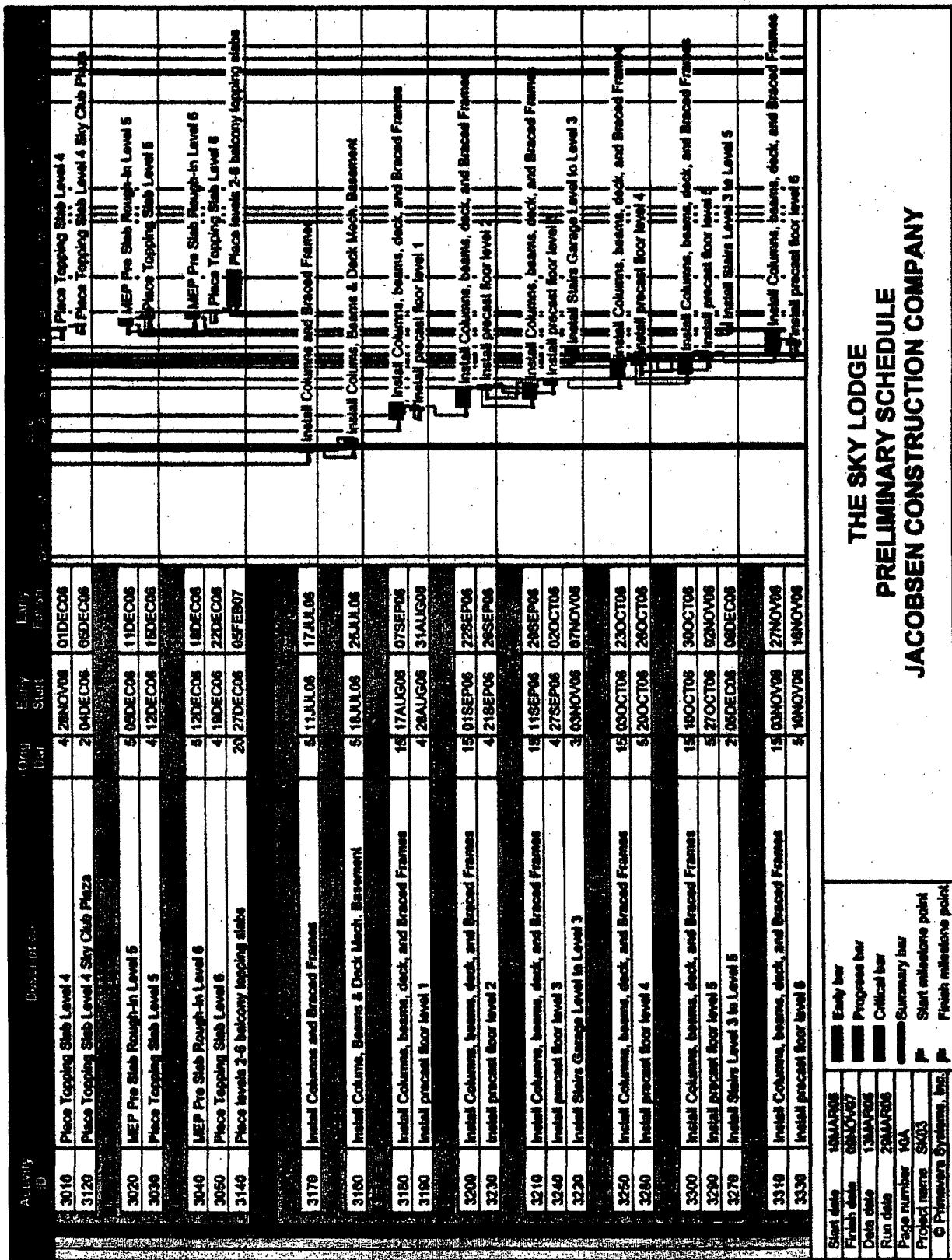
Activity	Description	Start Date	End Date	Duration
2320	Install auto slab drainage system Grids 8-17	5.08AUG08	18AUG08	13 days
2320	Bedroll Aerial drainage Waterpool grid 8-18	10.12OCT08	25OCT08	15 days
2330	Bedroll Aerial drainage Waterpool grid 8-17	10.26OCT08	06NOV08	10 days
2400	Form Footings / Mech Basement	2.08JUN08	06JUN08	4 days
2410	Place rebar Footings Mech Basement	2.12JUN08	13JUN08	1 day
2420	Place Concrete Footings Mech Basement	1.14JUN08	14JUN08	1 day
2440	Place rebar Foundations Mech Basement	2.15JUN08	16JUN08	1 day
2450	Form Foundations Mech Basement	5.18JUN08	23JUN08	5 days
2450	Place Concrete Foundations Mech Basement	1.26JUN08	26JUN08	1 day
2460	Install MEP underground mech basement	5.27JUN08	03JUL08	6 days
2460	Place SOG Mech Basement	2.05JUL08	06JUL08	1 day
2460	Form Footings / Grids 1-8	5.31MAY08	08JUN08	8 days
2460	Form Tower Crane Footing	1.02JUN08	02JUN08	0 days
2460	Place rebar Tower Crane Footing	1.05JUN08	05JUN08	0 days
2470	Install rebar Footings Grids 1-8	4.05JUN08	05JUN08	0 days
2470	Place concrete Tower Crane Footing	1.06JUN08	06JUN08	0 days
2480	Place Concrete Footings / Grids 1-8	1.08JUN08	09JUN08	1 day
2500	Install rebar Foundations Grids 1-8	5.12JUN08	16JUN08	4 days
2500	Form Foundations Grids 1-8	1.14JUN08	06JUL08	13 days
2500	Form Tower Crane Footing	5.28JUN08	06JUL08	7 days
2500	Install rebar Foundations Grids 8-17	4.03JUL08	07JUL08	4 days
2510	Place Concrete Foundations Grids 1-8	1.06JUL08	06JUL08	0 days
2720	Install rebar Foundations Grids 8-17	5.07JUL08	15JUL08	8 days
2900	Install MEP underground grid 1-8	10.07JUL08	20AUG08	13 days
2700	Place Concrete Footings Grids 8-17	1.10JUL08	06AUG08	6 days
2710	Form Foundations Grids 8-17	1.12AUG08	02AUG08	1 day
2810	Place SOG grid 1-4	4.21AUG08	27AUG08	6 days
3200	Place SOG Mechanical Basement	2.25AUG08	27AUG08	2 days
2730	Place Concrete Foundations Grids 8-17	1.08AUG08	08AUG08	0 days
2770	Form Piling Ramp Walls	5.03AUG08	09AUG08	6 days
2500	Install MEP underground grid 8-17	10.09AUG08	17AUG08	8 days
3000	Form & Place Suspended Slab for Pool	10.09AUG08	24AUG08	14 days
2780	Place Concrete Ramp Walls	1.10AUG08	16AUG08	6 days
Start date				
Finish date				
Data date				
Run date				
Page number				
Project name				
© Jacobsen Systems, Inc.				
■ Early bar				
■ Progress bar				
■ Critical bar				
■ Summary bar				
■ Start milestone point				
■ Finish milestone point				

**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Activity	Description	Start Date	Early Start	Late Finish	Duration	Resource	Notes
2536	Place SOG Gold # 17	4 18AUG06		23AUG06			
2558	Form, Rebar & Place North Star Tower - Paiting	5 27JUN06	62AUG06				Form, Rebar & Place North Star Tower - Painting
2560	Form, Rebar & Place North Star Tower - L1	5 05JUL06	11AUG06				Form, Rebar & Place North Star Tower - L1
2740	Form Footings South Star Tower	1 66JUL06	06AUG06				Form Footings South Star Tower
2750	Place Rebar Footings South Star Tower	1 07AUG06	07AUG06				Place Rebar Footings South Star Tower
2760	Place Concrete Footings South Star Tower	1 10AUG06	10AUG06				Place Concrete Footings South Star Tower
2770	Form, Rebar & Place South Star Tower - Painting	5 11AUG06	17AUG06				Form, Rebar & Place South Star Tower - Painting
2570	Form, Rebar & Place North Star Tower - L2	5 12AUG06	18AUG06				Form, Rebar & Place North Star Tower - L2
2630	Form, Rebar & Place South Star Tower - L1	5 18AUG06	25AUG06				Form, Rebar & Place South Star Tower - L1
2640	Form, Rebar & Place North Star Tower - L3	5 19AUG06	26AUG06				Form, Rebar & Place North Star Tower - L3
2810	Form, Rebar & Place South Star Tower - L2	5 26AUG06	01AUG07				Form, Rebar & Place South Star Tower - L2
2650	Form, Rebar & Place North Star Tower - L4	5 27AUG06	02AUG07				Form, Rebar & Place North Star Tower - L4
2620	Form, Rebar & Place South Star Tower - L3	5 02AUG07	08AUG07				Form, Rebar & Place South Star Tower - L3
2650	Form, Rebar & Place North Star Tower - L5	5 03AUG07	09AUG07				Form, Rebar & Place North Star Tower - L5
2330	Form, Rebar & Place South Star Tower - L4	5 04AUG07	10AUG07				Form, Rebar & Place South Star Tower - L4
2610	Form, Rebar & Places North Star Tower - L6	5 05AUG07	11AUG07				Form, Rebar & Place North Star Tower - L6
2340	Form, Rebar & Place South Star Tower - L5	5 16AUG07	22AUG07				Form, Rebar & Place South Star Tower - L5
2650	Form, Rebar & Place South Star Tower - L6	5 22AUG07	28AUG07				Form, Rebar & Place South Star Tower - L6
3670	Place Tack Shod	2 01SEP06	06SEP06				Place Tack Shod
2540	MEP Pre Stab Rough-In Level 1	5 03OCT06	08OCT06				MEP Pre Stab Rough-In Level 1
2650	Place Topping Stab Level 1	4 08OCT06	11OCT06				Place Topping Stab Level 1
3060	MEP Pre Stab Rough-In Main Plaza Level 1	5 10APR07	16APR07				MEP Pre Stab Rough-In Main Plaza
3110	Initial waterproofing A seeped transition Level	4 17APR07	20APR07				Initial waterproofing A seeped transition Level
3090	Place Topping Stab Main Plaza Level	5 23APR07	27APR07				Place Topping Stab Main Plaza
2660	MEP Pre Stab Rough-In Level 2	5 27OCT06	02NOV06				MEP Pre Stab Rough-In Level 2
2670	Place Topping Stab Level 2	4 03NOV06	08NOV06				Place Topping Stab Level 2
2680	MEP Pre Stab Rough-In Level 3	5 03NOV06	08NOV06				MEP Pre Stab Rough-In Level 3
2690	Place Topping Stab Level 3	4 10NOV06	15NOV06				Place Topping Stab Level 3
3080	MEP Pre Stab Rough-In Level 4	5 17NOV06	22NOV06				MEP Pre Stab Rough-In Level 4
3160	MEP Pre Stab Rough-In Level 4 Sky Club Plaza	5 22NOV06	30NOV06				MEP Pre Stab Rough-In Level 4 Sky Club Plaza

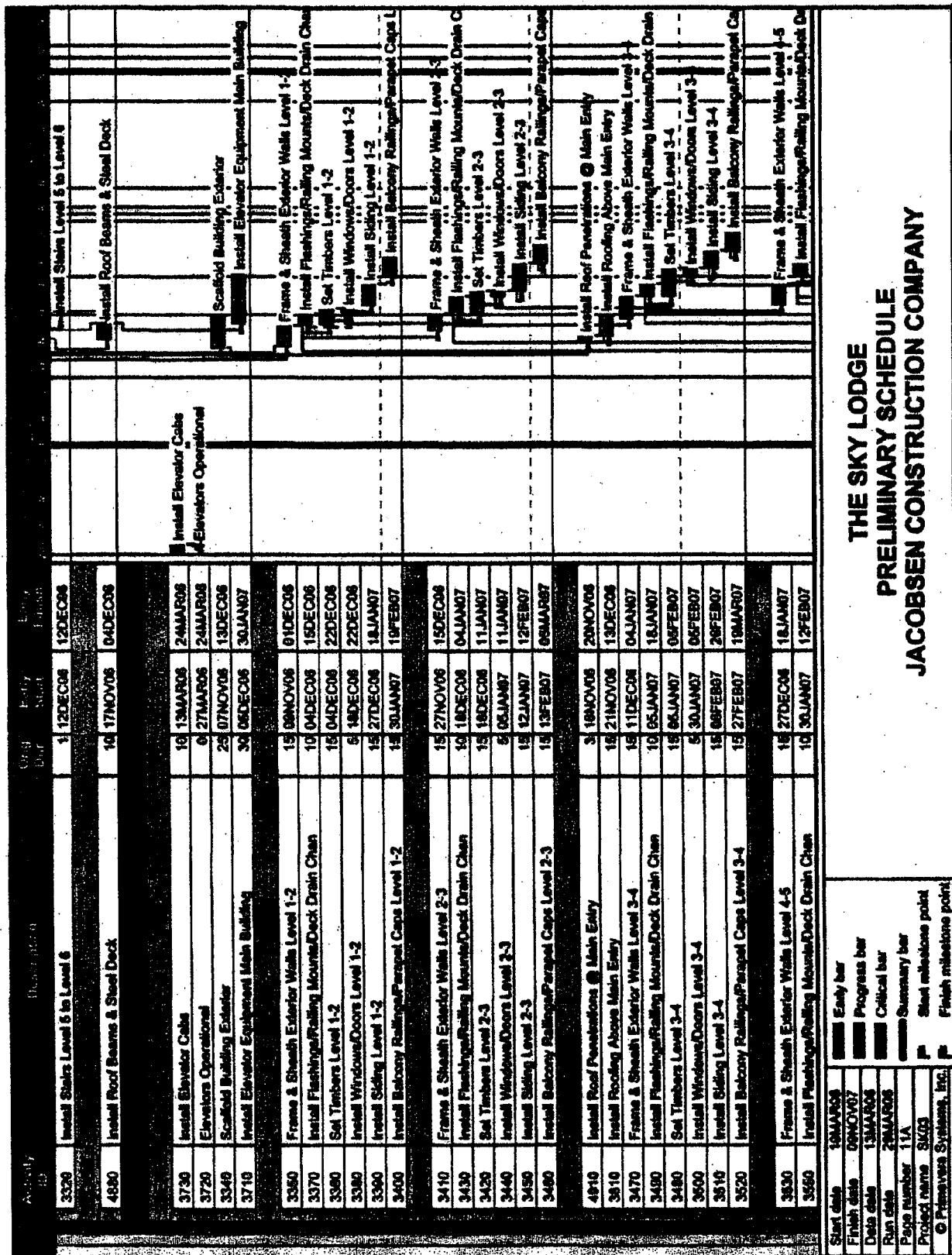
THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	15MAY06	Early bar
Finish date	20NOV06	Progress bar
Date date	15MAY06	Critical bar
Run date	20NOV06	Summary bar
Page number	SA	Start indication point
Project name	SK03	Finish indication point
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**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Start date	11MARS06	Early bar
Finish date	06JUN07	Progress bar
Date date	11MARS06	Critical bar
Run date	21MARS06	Summary bar
Page number	12A	P Start milestone point
Project name	SK03	P Field milestone point
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Activity	Description	Start Date	End Date	Early Finish
3540	Set Timbers Level 4-R	15 30JAN07	16FEB07	Set Timbers Level 4-R
3560	Install Window/Door Level 4-S	5 13FEB07	19FEB07	Install Window/Door Level 4-S
3570	Install Siding Level 4-S	15 20FEB07	12MAR07	Install Siding Level 4-S
3580	Install Balcony Railings/Panels Caps Level 4-S	15 13MAR07	02APR07	Install Balcony Railings/Panels Caps Level 4-S
3590	Frame & Sheath Exterior Walls Level 5-S	15 12MAR07	12FEB07	Frame & Sheath Exterior Walls Level 5-S
3610	Install Flashing/Railing Mounts/Deck Drain Chen	15 13FEB07	28FEB07	Install Flashing/Railing Mounts/Deck Drain Chen
3620	Set Timbers Level 5-S	15 13FEB07	08MAR07	Set Timbers Level 5-S
3620	Install Window/Door Level 5-S	5 27FEB07	08MAR07	Install Window/Door Level 5-S
3630	Install Siding Level 5-S	15 08MAR07	15MAR07	Install Siding Level 5-S
3640	Install Balcony Railings/Panels Caps Level 5-S	15 27MAR07	16APR07	Install Balcony Railings/Panels Caps Level 5-S
4020	Install Roof Penetrations A Top of Building	4 27DEC06	03JAN07	Install Roof Penetrations A Top of Building
4900	Install Top of Building Roofing	15 04JAN07	02FEB07	Install Top of Building Roofing
3650	Frame & Sheath Exterior Walls Level 6-R	15 06FEB07	26FEB07	Frame & Sheath Exterior Walls Level 6-R
3670	Install Flashing/Railing Mounts/Deck Drain Chen	15 27FEB07	12MAR07	Install Flashing/Railing Mounts/Deck Drain Chen
3680	Set Timbers Level 6-R	15 27FEB07	18MAR07	Set Timbers Level 6-R
3690	Install Window/Doors Level 6-R	5 13MAR07	18MAR07	Install Window/Doors Level 6-R
3690	Install Siding Level 6-R	15 20MAR07	08APR07	Install Siding Level 6-R
3700	Install Balcony Railings/Panels Caps Level 6-R	15 16APR07	30APR07	Install Balcony Railings/Panels Caps Level 6-R
3620	Rough-In Mechanical Basement	20 26JUL06	24AUG06	Rough-In Mechanical Basement
3670	Set Pumps and Equipment	35 25AUG06	13OCT06	Set Pumps and Equipment
3740	Frame Interior Wall/Door Frames Garage	3 12OCT06	16OCT06	Frame Interior Wall/Door Frames Garage
3840	Wall Rough-In Garage Level	5 17OCT06	23OCT06	Wall Rough-In Garage Level
3830	Overhead Rough-In Garage Level	15 24OCT06	13NOV06	Overhead Rough-In Garage Level
3750	Frame Interior Wall/Door Frames Level 1	5 18NOV06	22NOV06	Frame Interior Wall/Door Frames Level 1
4160	Rough-In Pool and Spa Equipment	10 27NOV06	08DEC06	Rough-In Pool and Spa Equipment
3980	Wall Rough-In Level 1	10 04DEC06	15DEC06	Wall Rough-In Level 1
3850	Overhead Rough-In Level 1	15 27DEC06	18JAN07	Overhead Rough-In Level 1
3760	Frame Interior Wall/Door Frames & Entry	15 04DEC06	22DEC06	Frame Interior Wall/Door Frames & Entry

**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Start date 10MAY06
Finish date 06NOV07
Run date 13MAY06
Run date 29MAY06
Prog number 12A
Prog name SK60
Project name Frequent Systems, Inc.
P Start milestones point
P Finish milestones point

Activity	Description	Start Date	Early Start	Finish Date	Critical
4179	Install Entryway Beams	15/11DEC06		04JAN07	
3880	Wall Rough-In Level 2	19/27DEC06		11JAN07	
3879	Overhead Rough-In Level 2	15/12JAN07		12FEB07	
3770	Frame Interior Walls/Install Door Frames Level 3	5/18DEC06	22DEC06	04JAN07	
3900	Wall Rough-In Level 3	19/27DEC06		11JAN07	
3900	Overhead Rough-In Level 3	15/12JAN07		12FEB07	
3789	Frame Interior Walls/Install Door Frames Level 4	5/05JAN07	11JAN07	05FEB07	
3949	Wall Rough-In Level 4	19/12JAN07		06FEB07	
3919	Overhead Rough-In Level 4	15/06FEB07		20FEB07	
3790	Frame Interior Walls/Install Door Frames Level 5	5/30JAN07	05FEB07	10FEB07	
3940	Wall Rough-In Level 5	19/06FEB07		10FEB07	
3930	Overhead Rough-In Level 5	15/20FEB07		12MAR07	
3900	Frame Interior Walls/Install Door Frames Level 6	5/13FEB07	19FEB07	05MAR07	
3950	Wall Rough-In Level 6	19/20FEB07		05MAR07	
3950	Overhead Rough-In Level 6	15/08MAR07		20MAR07	
3980	Install Drywall, Tape, and Finish	19/30APR07	11MAY07		
3980	Install Doors	5/14MAY07		16MAY07	
4000	Paint Walls, Ceilings, and Doors	19/21MAY07		04JUN07	
4910	Install Kitchen & Oceans	5/05JUN07		11JUN07	
4020	Install MEP Panels	19/05JUN07		18JUN07	
4030	Install Floor Coverings	5/19JUN07		25JUN07	
4040	Install Drywall, Tape, and Finish	25/05FEB07	06MAR07		
4050	Set Doors	5/12MAR07		16MAR07	
4180	Install Pool & Spa Therapies	19/12MAR07		23MAR07	
4080	Install Bathroom & Laundry Tile	5/26MAR07		30MAR07	
4070	Paint Walls, Ceilings, and Doors	15/02APR07		20APR07	
4080	Install Suspended Ceilings	19/23APR07		04MAY07	
4080	Install Tile & Stone Floors	15/23APR07		19MAY07	

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	18JAN07	Early bar
Finish date	04MAY07	Progress bar
Date due	12MAY07	Critical bar
Run date	21MAY07	Summary bar
Page number	13A	Start milestone point
Project name	SKLS	Finish milestone point
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